



City of Milford

General Administration
831-4192
248-5096 FAX

745 Center Street, Suite 200, Milford, Ohio 45150

www.milfordohio.org

Legal Notice Public Hearings

May 14, 2018

Property Owner:

You are receiving this notice because you own property within 800 feet of the proposed development. The Milford Planning Commission and City Council will hold the following Public Hearings to consider **Site 18-06**:

Planning Commission: Wednesday, June 13, 2018, at 6:00PM
City Council: Tuesday, June 19, 2018, at 7:00PM

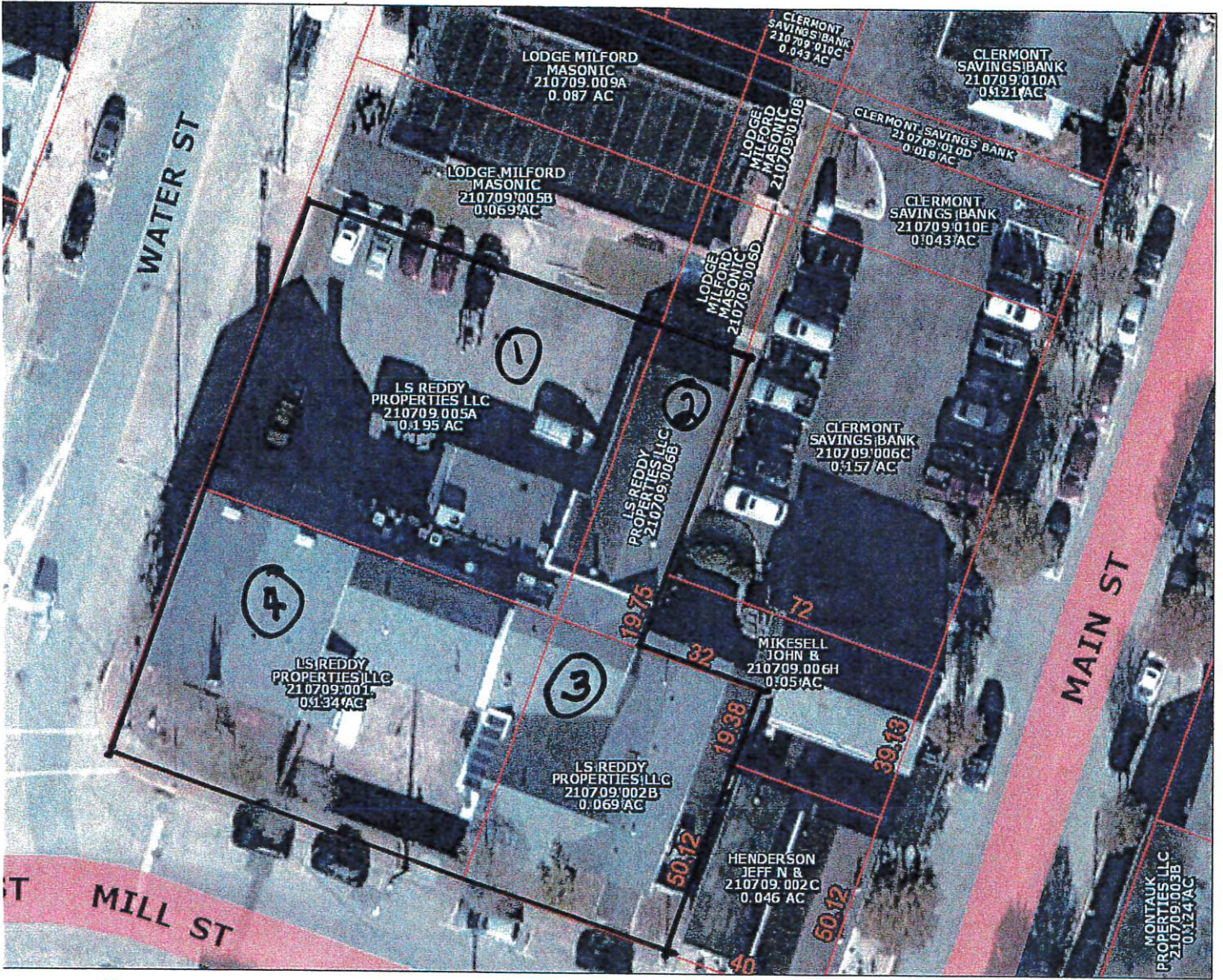
Place: Council Chambers, 745 Center Street, Milford, Ohio

Site 18-06 203 Mill Street (former Millcroft) Zoning Map Amendment and Preliminary Development Plan.

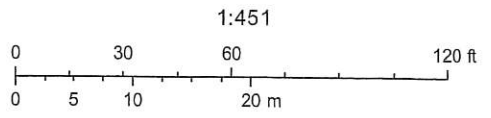
The City will hold a Public Hearing to consider a zoning map amendment request and review a Preliminary Development Plan for the properties located at 203 Mill Street (former Millcroft). The applicant, Rodney Sabo, on behalf of PLK Acquisitions LLC, is requesting to add a Planned Development Overlay to the following parcels: 210709.001, 210709.002B, 210709.006B, and 210709.005A. The properties are located on the northeast side of Mill Street at the corner of Mill Street and Water Street. The property owner is LS Reddy Properties LLC. This request is being considered pursuant to the provisions of Chapter 1133 of the Milford Zoning Ordinance.

The applicant is proposing to demolish the buildings located at 203 Mill Street and then construct six (6) townhomes and six (6) flats. The parcels are located in the B-2, Downtown Mixed-Use District and the Old Mill Overlay District.

A copy of the proposed site plan may be viewed at City Hall, 745 Center Street, Milford, from 8:30 a.m. to 4:30 p.m. weekdays or on the City website: www.milfordohio.org. If you have any questions, please call Pam Holbrook, Assistant City Manager, at (513) 248-5093.

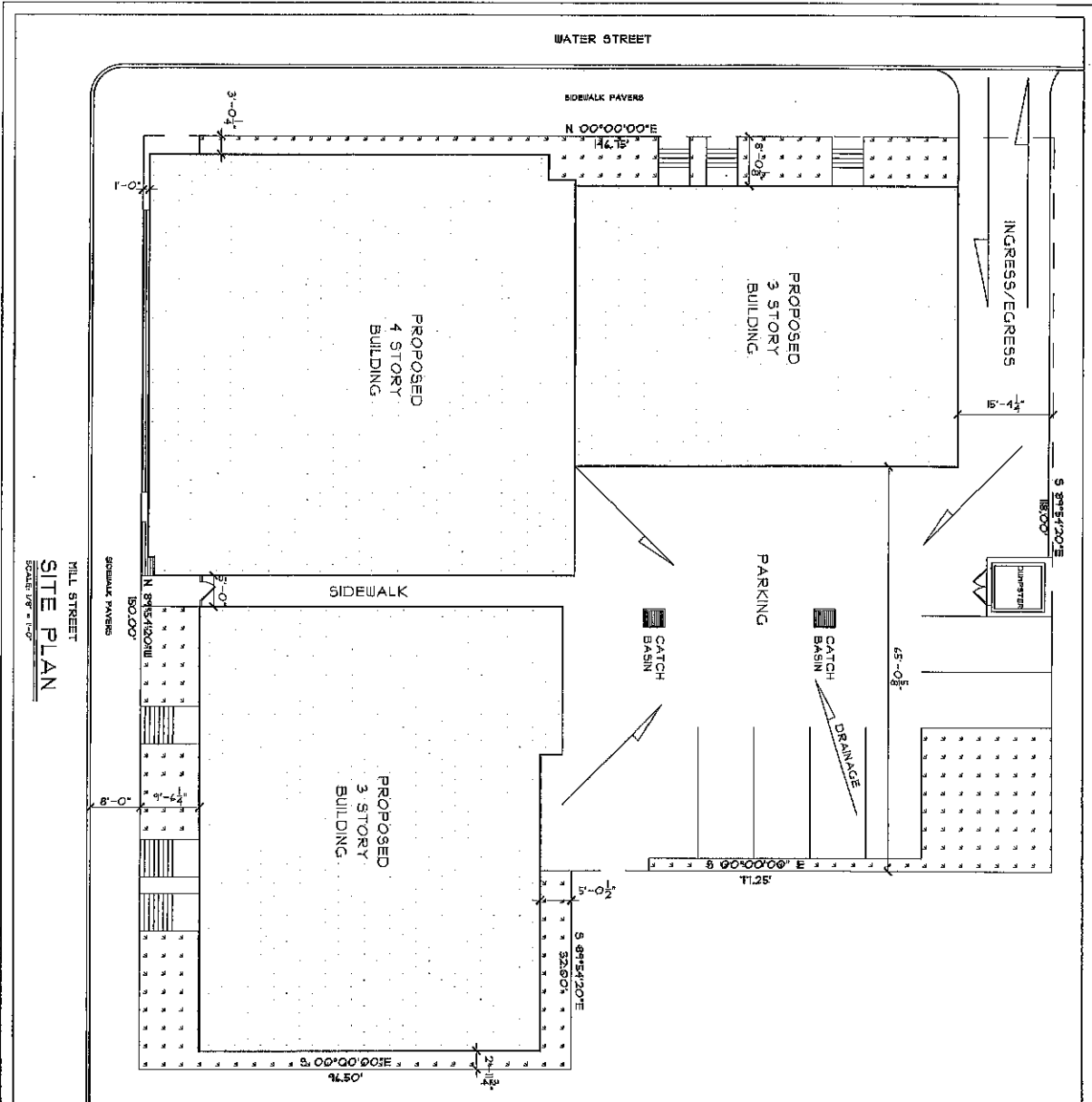


- ① 210709.005A 0.195 ACRES
- ② 210709.006B 0.051 AC
- ③ 210709.002B 0.069 AC
- ④ 210709.001 0.134 AC



Clermont County Ohio
Clermont County

Clermont County Auditor
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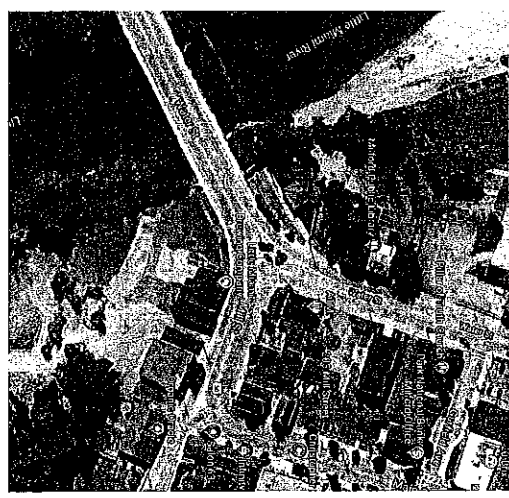
APPLICANT: RODNEY J. SABO
 SABO DESIGN ASSOCIATES
 550 WARD'S CORNER RD.
 LOVELAND, OHIO 45140

PROPOSED DEVELOPERS: PLK ACQUISITIONS, LLC
 5905 E. GALBRAITH RD.
 CINCINNATI, OHIO 45234

BUILDING INFORMATION

PRESENT ZONING - OHIO - OLD MILL OVERLAY DISTRICT
 4 STORY HGT. 48'
 3 STORY HGT. 33'
 25000 GROSS SQ. FT.

FLOOR AREA RATIO: 59%
 OPEN SPACE: 42%
 IMPERVIOUS SURFACE RATIO: 8% (LESS THAN EXISTING)
 PARKING SPACES REQUIRED: 18
 PARKING SPACES PROVIDED: 21



<p>REVISIONS</p> <table border="1"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>																							<p>PROPOSED</p> <p>L1 LOFTS AND TOWNHOMES</p> <p>203 MILL STREET MILFORD, OHIO</p>	<p>CLERMONT COUNTY</p>	<p>SHEET 1</p> <p>PROPOSED SITE PLAN</p>

SDA
 SABO DESIGN ASSOCIATES
 550 WARD'S CORNER RD.
 LOVELAND, OHIO 45140
 (513) 865-1234
 info@sabodesign.com

ISSUE DATES

